

**THE GREENSTONES
DESIGN GUIDELINES**
(as adopted as of July ____, 2011)

PREFACE

The Greenstones is a first class residential condominium community (“The Greenstones” or the “Condominium Community”) that is located in and part of the Sanitas Terrace subdivision in Boulder, Colorado. The Greenstones and the Sanitas Terrace subdivision have gone through an extensive planning and review process with the City of Boulder, Colorado (the City). The Condominium Declaration of The Greenstones recorded _____ as Reception No. _____ (the “Declaration”) authorizes the Board of Directors (the “Board”) of The Greenstones Owners Association (the “Association”) to promulgate Rules to regulate the design review process and to adopt these Design Guidelines. It is the desire and vision of the Board and the Association that The Greenstones be maintained in a consistent and high quality fashion evidencing the design concepts and character for the development created by the Declarant and required by the Declaration and the various City approvals and requirements governing Sanitas Terrace subdivision and The Greenstones.

All capitalized terms not defined in these Design Guidelines shall have the meaning defined for them in the Declaration.

Owners are advised that the Design Guidelines do not address every requirement or obligation imposed by the Declaration. Therefore, review of the Declaration as well as the Design Guidelines is important for an understanding of all of the mutually beneficial restrictions applicable to The Greenstones. An Owner should also review the Sanitas Terrace Homeowners Association Inc. Design Standards

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1. INTRODUCTION

Section 9.4 of the Declaration states:

9.4 Improvements and Replacements by the Unit Owners (Design Review). No Owner shall make any structural addition, alteration, or improvement to his or her Unit, paint or alter the exterior of his or her Unit, including the doors, windows and light fixtures, or paint or alter the exterior of the Building, or change the drainage pattern around the Building from that established by Declarant without the prior written consent of the Board of Directors in accordance with this ARTICLE NINE. No Owner shall undertake any work in his or her Unit that would jeopardize or interfere with the soundness, safety, or operation of the Unit or any other Unit, the Building in which the Unit is located, or the Common Elements.

The Board of Directors shall be obligated to answer any written request by an Owner for approval of a proposed addition, alteration or improvement within thirty (30) days from the date of the next regularly scheduled meeting of the Board of Directors after receipt of the request. Failure to do so within the stipulated time shall constitute approval by the Board of Directors of the proposed improvement. The Board of Directors will promulgate Rules as required by the Act regarding design review and to implement the provisions of this Section, which Rules may provide for the payment of a fee to accompany each request for approval hereunder. The Board of Directors may adopt and amend from time to time Design Guidelines as part of the Rules of the Association. The Design Guidelines may address, among other things, procedures for applying and obtaining review of proposed improvements, appropriate colors and materials, landscaping, fence and maintenance requirements for the Private Yards and requirements for the installation of solar panels on the roofs of the Building(s). The Design Guidelines also may provide for the appointment of a design review committee appointed by the Board of Directors that will consist of at least two directors and such other persons, including Owners, who the Board of Directors may decide to appoint to the committee.

The Owner applying for approval hereunder shall be responsible to apply for and obtain all permits and approvals required by the City.

Any change to Unit affecting its exterior appearance is subject to the provisions of the Declaration and these Design Guidelines. In addition all such changes must comply with the requirements of the Sanitas Terrace Homeowners Association Inc. Design Standards.

These Design Guidelines do not apply to or govern any original construction of Units or Buildings in The Greenstones by the Declarant.

2. DESIGN REVIEW COMMITTEE

2.1 Appointment/Powers

Section 9.4 of the Declaration authorizes the Board to appoint a design review committee (the “Design Review Committee” or “DRC”) with the responsibility for the administration of the Design Guidelines. The Board shall serve as the DRC unless and until the Board appoints a separate committee.

2.2 Meetings

The DRC shall either meet at the convenience of the DRC members or shall conduct their business by mail, telephone or e-mail as often as necessary to transact the business of the DRC. The affirmative vote of a majority of the DRC members shall constitute the action of the DRC on any matter before it.

Applicants need not be present at the time of the DRC review of their application. However, applicants may request the opportunity to be personally heard in support of their applications.

2.3 No Right to Appeal

There is no right to appeal a decision of the DRC to the Board of Directors of the Association. The decision of the DRC is final in all matters subject to the jurisdiction of the DRC pursuant to the Declaration and these Design Guidelines.

2.4 Design Consultants

The DRC is authorized to retain the services of one or more consulting architects, landscape architects or land planning consultants to advise and assist the DRC in performing design review functions. The design consultant may also be a DRC member. Such consultants may be retained to assist the DRC on a single project, on a number of projects or on a continuing basis. In the event the DRC retains design consulting services for a specific development proposal, the costs of such design services shall be borne by the applicant.

2.5 Amendment of Design Guidelines

The Board based on input and advice from the DRC (if and when it is a separate committee) has sole and full authority to amend the Design Guidelines by a majority vote of the Board; provided, however, the Declarant must consent to any such amendment so long as the Declarant owns any Units encumbered by the Declaration and the Design Guidelines. All such additions, revisions or other amendments shall be appended to and made part of the Design Guidelines and shall, therefore, have the same force and effect as all other provisions of the Design Guidelines. Any amendments to the Design Guidelines shall apply after the date of such amendment only and shall not apply to

require modifications to or removal of structures previously approved once construction of the approved structure or modification has commenced.

The DRC shall make available the most current copy of the Design Guidelines to Owners who seek to do any work on their Units that is governed by the Declaration or these Design Guidelines. Each Owner is responsible for obtaining the most current copy of the Design Guidelines from the DRC.

3. GUIDELINES

3.1 Exterior

Any changes to the exterior a Unit or the Buildings shall be consistent with the Exterior Finishes Schedule as applicable to a particular building attached hereto. In general no change shall be approved which does not comply with the requirements of the City's "Tech Doc" approval of The Greenstones issued October 28, 2009 under TEC2008-00047, as such approval may be amended from time to time.

3.2 Landscaping and Fences

Landscaping in any Common Elements shall be the responsibility of and under the control of the Association by the Board. Unit Owners shall not install any landscaping in the Common Elements except in those areas, if any, allocated as a Private Yard and/or a Limited Common Element to a particular Unit. An Owner shall not install any landscaping in a Private Yard and/or Limited Common Element without first obtaining the written approval of the DRC of such landscaping. Any landscaping that is approved for installation by an Owner shall be maintained in a first quality, good condition at all times by that Owner. Dead or dying plants or grass shall be removed and replaced immediately subject to seasonal and other weather constraints. In all instances landscaping in The Greenstones shall be consistent with the Landscaping Plan approved for The Greenstones by the City as set forth on the Landscaping Plan (Sheet L1) attached hereto.

All fences shall comply with the requirements of the Declaration and the the requirements of the Sanitas Terrace Homeowners Association Inc. Design Standards. See attached fence detail.

3.3 Grading and Drainage

In no event shall any Owner change the drainage pattern around a Unit or a Building with the prior written approval of the DRC, the Board of Directors and the approval of the City, as may be required.

3.4 Exterior Lighting

An Owner shall not make any change to any exterior lighting of the Owner's Unit without the prior written approval of the DRC. Any such change must comply with all requirements of the City applicable to The Greenstones.

4. DESIGN REVIEW PROCESS

4.1 Governing Regulations

All changes to the exterior of a Unit, a Building or to any landscaping installed by an Owner must comply with the Design Guidelines, the Declaration and all applicable City requirements.

4.2 Plan Review

The Owner shall submit three copies of written plans to the DRC for any proposal for a change for which the Owner seeks approval. The plans must contain sufficient detail and information to allow the DRC to understand the nature of the request and to make a meaningful review of the request. If applicable, the Owner must submit samples of exterior finishes indicating the type, color and texture of all exterior materials. Plans that do not have sufficient detail and information will be rejected.

The Board of Directors acting as the DRC shall review the plans within the time periods specified in the Declaration

5. FEES and FORMS

As of the initial adoption of these Design Guidelines, the DRC will not charge a fee for DRC review of plans for changes to an Owner's Unit but the Board of Directors reserves the right to amend these Design Guidelines and provide for the payment of fees at any time. The DRC may also at anytime adopt forms that an Owner will be required to fill out and provide as part of any request for review.

6. AMENDMENT

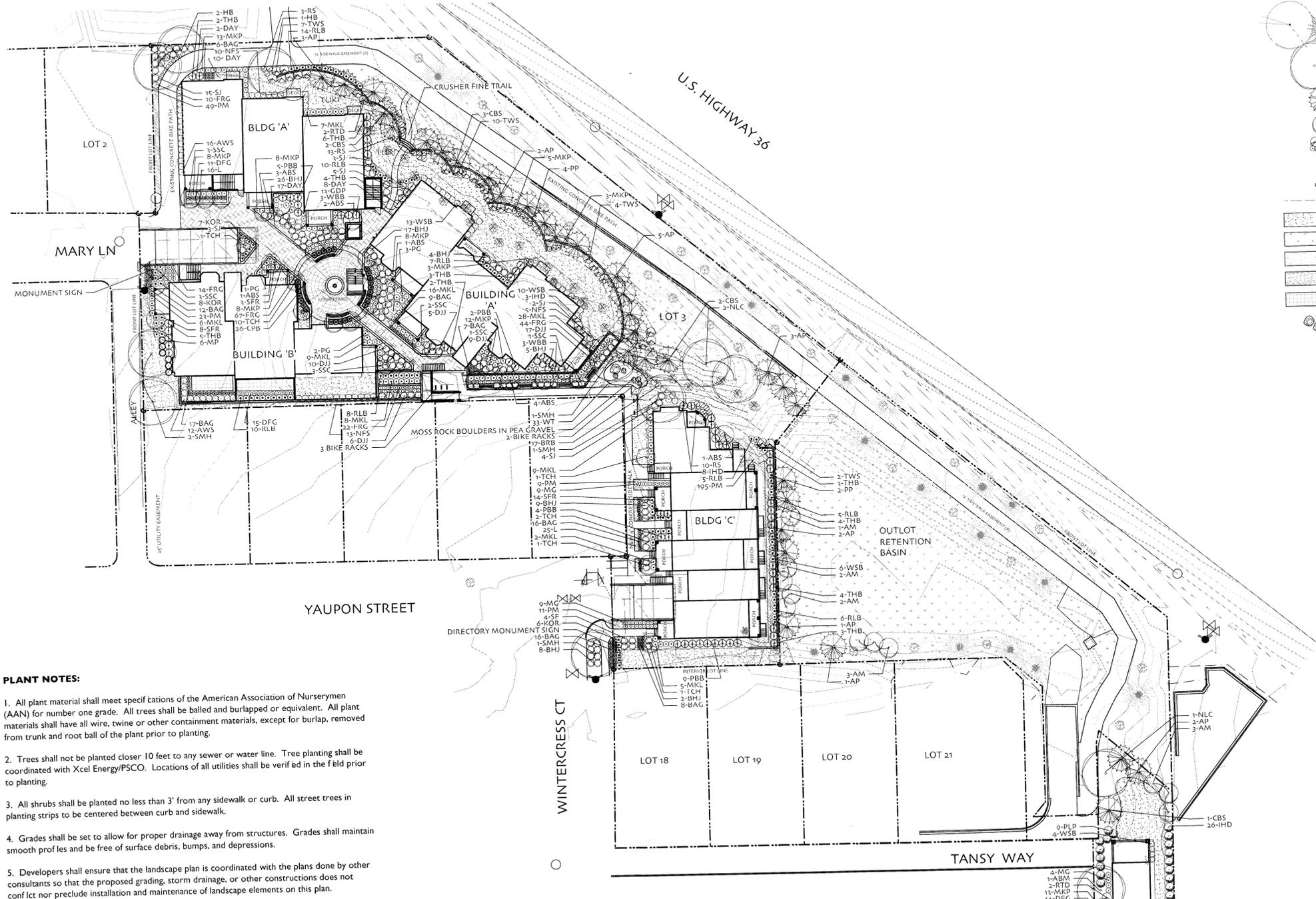
These Design Guidelines may be amended at any time and from time to time by the Board of Directors of the Association.

ATTACHMENTS

Schedule of Exterior Finishes
Landscaping Plan (Sheet L1)
Fence Detail

1850 Yaupon Units C1-6
 Exterior Finishes and Materials

Item	Area	Type	Color
Roof & Decks	Common to all	EPDM over Dens Deck	Black
Skylights	Common to all	FCM 106 and FCM 606	
Gutters	Common to all	5" Primed	Painted
Siding	Common to all	8" Hardie Lap Siding	Painted
Masonry	Units 1,3, and 5	Brick -Pro coat Cascada	Cascada
Masonry	Foundation	Stucco-3/8" base coat on Diamond Lath	Match Natural Stone headers
Masonry	Cornices	Stucco-3/8" base coat on Diamond Lath	Match Natural Stone headers
Masonry	Precast headers	Pro Coat Natural Stone	Natural Stone
Decks	Common to all	Moisture Shield composite decking	Mahogany
Exterior Paint	Siding	Benjamin Moore or comparable	HC77 Alexandria Beige
Exterior Paint	Trim	Benjamin Moore or comparable	HC173 Edgecombe Gray
Exterior Paint	Wood Cornices	Benjamin Moore or comparable	HC173 Edgecombe Gray
Exterior Paint	Exterior Doors/Garage Door	Benjamin Moore or comparable	HC-71 Hasbrook Brown
Garage Door	Underground Parking Entrance	Wayne Dalton Thermomark 5150	Painted
Garage Door Opener	Underground Parking Entrance	Liftmaster T5011	
Driveway	Entrance	Snow Melt System	
Exterior Doors	Front Doors to units	Therma Tru Solid Entry 3068 Smooth Star	Painted
Exterior Doors	Exterior from Garage	Therma Tru Solid Entry 3068 Smooth Star	Painted
Exterior Doors	Private decks	Andersen Slider Doors 100 Series	
Exterior Doors	Private decks	Therma Tru Full light 3068	Painted
Windows	Common to all	Amsco Series	
Windows	East side of Building	Amsco Serenity Series	
Exterior Lights	At each door	Kichler SP-KK49059BN- Ripley	Brushed Nickel
Exterior Lights	At Garage Door	Kichler SP-KK49060BN- Ripley	Brushed Nickel



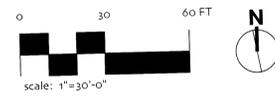
PLANT LEGEND:

- Existing Landscape
- Shade Trees
- Evergreen Trees - Spruces, Pines
- Ornamental Trees - Serviceberry, Hawthorns, Fruit Trees, Deciduous Shrubs - Shrub roses, Potentilla, Spirea, etc.
- Evergreen Shrubs - Juniper, Pines
- Ornamental Grasses - Miscanthus, Calamagrostis, Festuca
- Edger
- Manicured Turf
- Native Grass
- Crusher Fine Trail
- Pea Gravel (play area)
- Concrete Pavers
- Moss Rock Boulders (play area)
- Inverted-U bike Racks

PLANT NOTES:

1. All plant material shall meet specifications of the American Association of Nurserymen (AAN) for number one grade. All trees shall be balled and burlapped or equivalent. All plant materials shall have all wire, twine or other containment materials, except for burlap, removed from trunk and root ball of the plant prior to planting.
2. Trees shall not be planted closer 10 feet to any sewer or water line. Tree planting shall be coordinated with Xcel Energy/PSCo. Locations of all utilities shall be verified in the field prior to planting.
3. All shrubs shall be planted no less than 3' from any sidewalk or curb. All street trees in planting strips to be centered between curb and sidewalk.
4. Grades shall be set to allow for proper drainage away from structures. Grades shall maintain smooth profiles and be free of surface debris, bumps, and depressions.
5. Developers shall ensure that the landscape plan is coordinated with the plans done by other consultants so that the proposed grading, storm drainage, or other constructions do not conflict nor preclude installation and maintenance of landscape elements on this plan.
6. All shrub bed areas shall be mulched with layer of wood bark mulch over weed barrier fabric to a depth of 4". Perennials and groundcover areas shall be mulched with a 3" layer of shredded bark mulch.
7. Prior to installation of plant materials, areas that have been compacted or disturbed by construction activity shall be thoroughly loosened; organic soil amendments shall be incorporated at the minimum rate of at least three (3) cubic yards per 1000 square feet of landscape area.
8. All tree lawn areas will be sodded with low-water demand bluegrass blend (including but not limited to the following blends: Eclipse, Touchdown, Preakness, Blacksborg and Liberty as grown by OK Dole Sod Farms). All slopes steeper than 3:1 will have erosion control fabric.
9. All landscape (plant materials and grass) will be irrigated with an automatic system. Turf areas will have a spray zone, shrubs and trees in grates will have a drip zone and perennials/groundcovers (part of the drip zone) will have micro-jet sprays.
10. Contractor shall verify all material quantities prior to installation. Actual number of plant symbols shall have priority over the quantity designated.
11. Refer to the City of Boulder Design and Construction Streetscaping Standards for all work within public areas.
12. Refer to the Civil Engineer Drawings for Grading and Utility information.
13. This plan meets or exceeds City of Boulder landscape code requirements.
14. All planters shall be filled with planters mix and the ability to drain. See details.

LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED	COMMENTS
OVERALL SITE LANDSCAPING	RMX zone Lot 3 - 64,490 SF Lot 23 - 6,655 SF		
STREETSCAPE			
Detached Sidewalk	1 tree/ 30-40 lf. - 75' - 2 trees required	2 provided	
Attached Sidewalk	1 tree/ 20'-25' lf. - trees required		
MINIMUM PLANT SIZES			
Deciduous Trees	2" caliper	2 1/2" caliper - 13 provided + 28 existing	additional 26 trees to be removed to be relocated if possible along US
Evergreen Trees	5' height	2" caliper - 33 provided + 16 existing	
Ornamental Trees	1 1/2" caliper	2" caliper - 52 provided	
Shrubs	5 gallon container	3 gallon container - 768 provided	36 for additional screening
Ornamental Grasses		1 gallon container - 327 provided	
PARKING LOT SCREENING			
FROM THE STREET			
Height and Opacity	Landscape Material 42" high	N/A	no surface parking
Width	6'	N/A	
PARKING LOT SCREENING			
FROM ADJACENT PROPERTIES			
Height and Opacity	Landscape Material 42" high	N/A	no surface parking
Width	6'	N/A	
Trees	1 tree/ 25-35 lf. = 36 trees	N/A	
INTERIOR PARKING LOT			
LANDSCAPING			
Amount	10% of parking lot (xxx spaces)	N/A	no surface parking
Trees	1 tree/200 sf. landscaped area = 57 trees	N/A	
Coverage	shrub or groundcover to cover w/in 5 yrs	provided	



outside la
landscape architecture + urban design + planning
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**Sanitas Terrace Subdivision
Lots 3 and 23
Boulder, Colorado**

NOTICE DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the owner, his contractor, and the landscape architect. Design and construction are complex. Although the landscape architect and their consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the landscape architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the landscape architect shall relieve the landscape architect from responsibility for all consequences. Changes made from the plans without consent of the landscape architect are unauthorized, and shall relieve the landscape architect of responsibility for all consequences arising out of such changes.

Issue Date:
09/04/07 dwn by: ois
rev'd by: ois

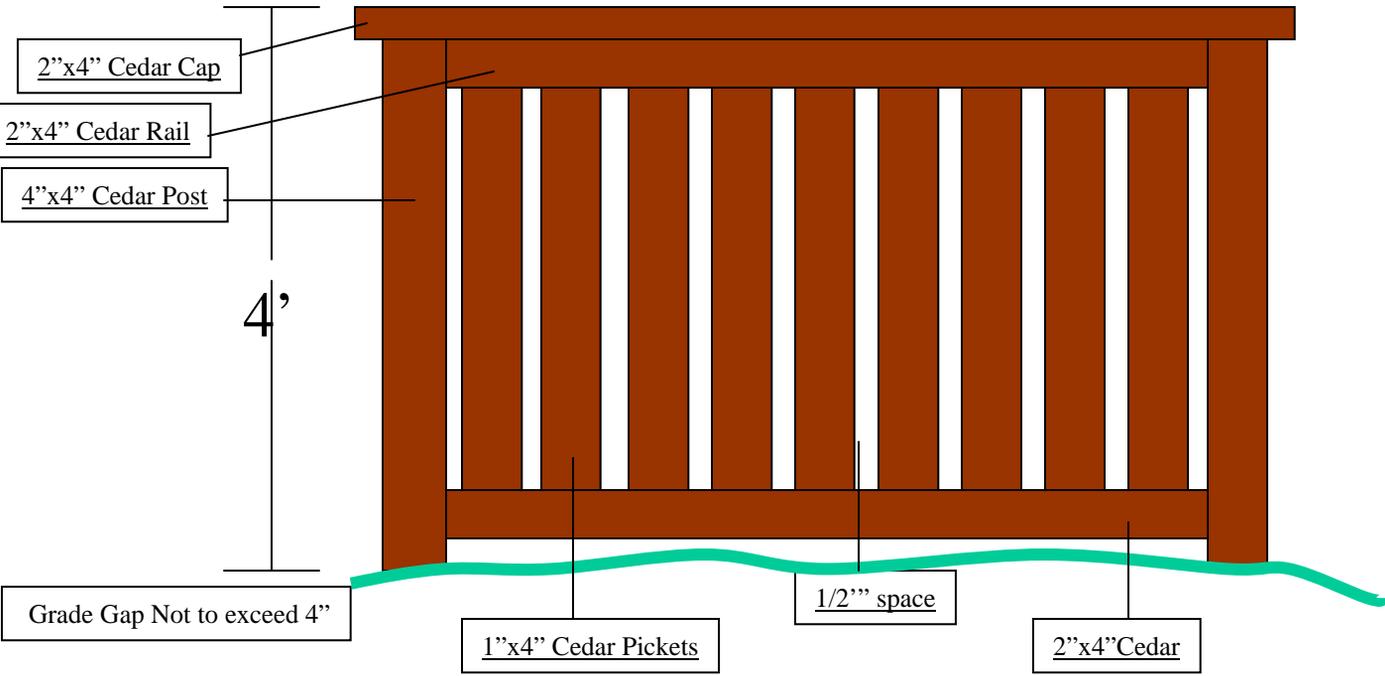
Revisions

NO.	REVISIONS PER STAFF COMMENTS	DATE
1		

SITE PLAN REVIEW
Sheet No.
Planting Plan

Rear/ Side Fence Detail for Sanitas Terrace revised 04/27/07

Not to Scale



Front Fence Detail for Sanitas Terrace

